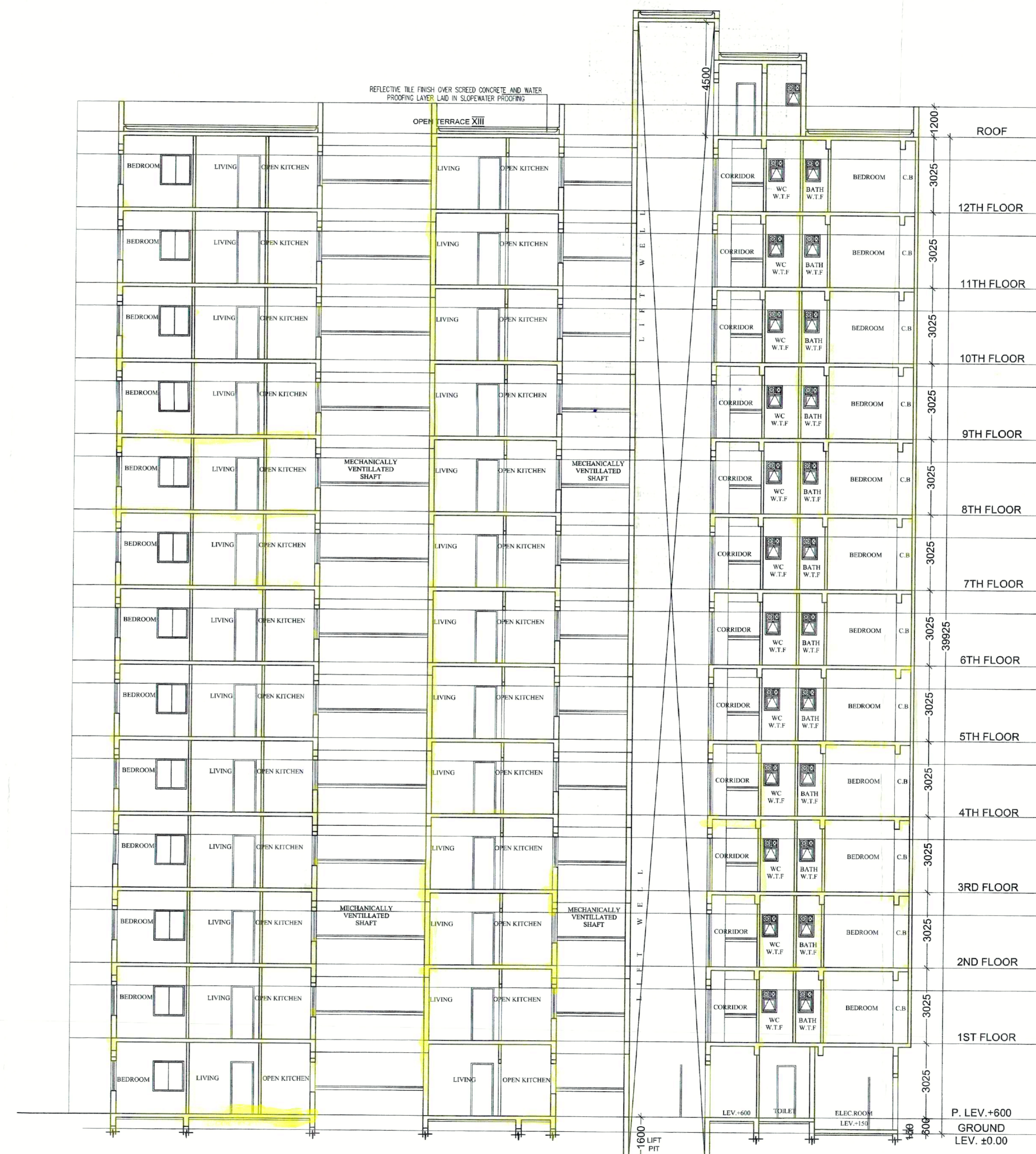


SECTION AA
TOWER-5



SECTION BB
TOWER-5

PROJECT (PHASE-I)
ADDITION ALTERATION OF PROPOSED G+12,G+18 AFFORDABLE HOUSING UNDER PRADHAN MANTRI AWAS YOJANA & G+28 STORIED BUILDINGAT PRE. NO.39/1 SHALIMAR ROAD, MOUZA SHIBPUR SHEET NO.169,170,179,180, I.I NO. 1, L.R. KHATIAN NO. 170,9,15,17, L.R. DAG NO. 12,13,39,40,41,42,44,45, 60,61,62,63,6,7,8,9,10,11,12,13,14,15,16,17,21,22, 24,1,2,11 P.S-SHIBPUR, WARD NO-39, BOROUGH -VI,DIST HOWRAH-711103, UNDER HOWRAH MUNICIPAL CORPORATION.WEST BENGAL, PREVIOUSLY SANCTIONED VIDE BRC NO. 358/19-20 DATED 4.02.2020

TITLE :
 SECTIONS (TOWER-5 AND TOWER-2, WHICH IS MIRROR OF TOWER-5)

- SPECIFICATION:
- 1ST CLASS CEMENT BRICK WORK IN SUPERSTRUCTURE
 - 200 THK. EXT. BRICK WALL & 100 THK. INT. BRICK WALL IN 4 CEM-SAND MORTAR
 - LEAN CONC. (1:3:6) WITH 19 MM. DOWN GRADED STONE CHIPS FOR ALL P. C. C. WORKS.
 - M-25 CONC.(1 : 1:2) FOR ALL R.C.C. WORKS
 - 20 MM. & 15 MM. THK. PLASTER (1:5) ON EXT. & INT. BRICK WALL RESPECTIVELY & 13 MM. THK. PLASTER (1:3) ON CEILING
 - 20 X 6 FLAT ORNAMENTAL GRILL WITHIN WINDOW FRAME & AV. 40 MM. THK. MARBLE FLOORING INCLUDING SKIRTING OVER R.C.C. FLOOR SLAB
 - SINGLE LAYER F.B.S. IN FOUNDATION & PLINTH
 - HIRE & LABOUR FOR SHUTTERING & LABOUR WORKS INCLUDING STOUT PROPS TO BE PLACED AS PER DIRECTION
 - TOR STEEL BAR FOR ALL R.C.C. WORKS INCLUDING DISTRIBUTERS & BINDERS
 - SANITARY & PLUMBING FITTING & FIXING COMPLETE AS PER RULE
 - MATERIALS TO BE USED: CEMENT- PORTLAND, SAND- MEDIUM COARSE, STONE CHIPS- 19 MM. DOWN GRADED
 - CLEAR COVER TO MAIN REFN.: FOUNDATION- 50 MM., COLUMN- 40 MM., BEAM- 25 MM., SLAB- 20 MM.
 - SAL WOOD TO BE USED FOR DOOR & WINDOW FRAME & TEAK WOOD FOR SHUTTERS
 - ALL DIMENSIONS ARE IN MM. UNLESS OTHERWISE MENTIONED & WRITTEN DIMENSIONS WILL SUPERCEDE MEASURED DIMENSIONS.

DECLARATION
 THE PLOT IS BUITED & BOUNDED BY BOUNDARY WALL. THE CHARACTER OF THE ROAD IS A H.M.C. ROAD. I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF K.M.C. BUILDING RULES 2008 AS EXTENDED MUTATIS - MUTANDIS TO H.M.C. AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE SITE PLAN AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

IDEAL RIVERSIDE SOCIETY PVT. LTD.
 MALAY KUMAR GHOSH
 35A, Dr. Sarat Banerjee Road
 KOLKATA-700 029
 SIGNATURE OF ARCHITECT
 MALAY KUMAR GHOSH
 REG. NO. CA2674854
 35A, Dr. SARAT BANERJEE ROAD,
 KOLKATA-700 029

SIGNATURE OF APPLICANT
DECLARATION
 I, CERTIFIED THAT THE FOUNDATION AND THE SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME THAT IT IS SAFE IN ALL RESPECTS INCLUDING IN THE CONSIDERATION OF THE BEARING CAPACITY & SETTLEMENT OF SOIL.
 2. THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN DESIGNED BY ME CONSIDERING ALL POSSIBLE LOADS (HORIZONTAL & VERTICAL) AS PER THE NATIONAL BUILDING CODE OF INDIA.

BIBEK BIKASH MULLICK
 23/04/2021
 SIGNATURE OF STRUCTURAL ENGINEERS
 BIBEK BIKASH MULLICK
 ALOK JAY
 Chartered Geotechnical Engineer
 Kolkata Municipal Corporation
 Class-I, No.-G/T/1/11
 6A, Milon Park
 Kolkata-700 024
 SIGNATURE OF GEOTECHNICAL ENGINEER
 GEOTECH ENGINEERS PVT.LTD.
 ALOK JAY
 CTE: 1/71
 6A, MILON PARK,GARIA,KOLKATA-700024

UNDERTAKING
 1) I/WE UNDERTAKE THAT WHEN THE SEWER LINE WILL BE AVAILABLE, I/WE SHALL TAKE CONNECTION AT MY OWN COST & AS PER RULE.
 2) NO BUILDING MATERIALS WILL BE STACKED/ DEPOSITED ON ROAD OVERNIGHT.
 3) I/WE SHALL ARRANGE FOR RAISING & MAINTENANCE OF TREE AS SHOWN IN THE DRAWING AT MY OWN COST.

SCALE: 1/50
 DATE: 30/12/2021
 REAT: P.B.K.P.
 ARCHITECTS: ESPACE
 35A, DR. SARAT BANERJEE ROAD,
 KOLKATA-700-029
 PH/NO: 2465-4130,4159



SPACE FOR H.M.C.

APPLICANT HAS TO EXHIBIT AT A CONSPICUOUS PLACE:
PERMITS NO. :-
NAME OF THE I.P.A. LIA.
NAME OF THE STRUCTURAL ENGRG.
NAME OF THE CIVIL ENGINEER
NAME OF OWNER :-
NAME OF THE APPLICANT :-
BUILDING PERMIT

THE SANCTION IS VALID
UP TO 20/11/2025

APPROVED AS PER
COMMISSIONING OF 20/11/25

APPLICANT SHALL KEEP AT THE SITE ONE SET
OF PLANS AND SPECIFICATIONS AND SHALL
EXHIBIT A CONSPICUOUS PLACE THE NUMBER
OF THE PERMIT. THE NAME OF THE ARCHITECT
OR LICENSED BUILDING SURVEYOR, STRUCTURAL
ENGINEER AND CIVIL ENGINEER
NAME OF OWNER AND NUMBER AND DATE OF
THE BUILDING PERMIT.

CONSTRUCTION SITE SHALL
MAINTAIN TO PREVENT
WORMS OR BREEDING IN ALL
WATERBODIES SO THAT ALL WATERS
COLLECTION & PARTICULARLY
WELLS, VATS, BASEMENT CURBS,
PITS, OPEN RECEPTACLES ETC.
MUST BE EMPTIED COMPLETELY
AT REGULAR INTERVALS.

Sanctioned Conditionally on
undertaking from the owner
that if any part of the building
to be constructed falls within
the alignment of HMC, the
same will be demolished by
the owner at his/her risk and
for this the owner will not claim
any compensation from HMC.

Plans for water connection arrangement
SEMI U. G. should be submitted at the
Office of the Assistant Engineer of
Borough and sanction to be obtained
before proceeding with the work of
Water Supply. Any deviation may lead to
disconnection / demolition.

No rain water pipe should be fixed or
discharged on Road or Footpath.
Drainage plan should be submitted
at the Borough Assistant Engineer's
Office and the sanction obtained before
proceeding with the drainage work.

PLACED IN MUNICIPAL
BUILDING COMMITTEE
DATE: 18/11/25

PARTY'S COPY



Structural plan and design calculation as submitted by the
structural engineer, have been kept with B.R.
No. 117/25. The date of the sanction is 18/11/25. The
record of the Powrah Municipal Corporation without
verification from the submitted structural plan
should be taken into consideration for the purpose of
fresh sanction along with design calculation and
stability calculation. The necessary steps
should be taken to ensure the safety of the adjoining premises
public and private properties during construction.
Signature: [Signature] Date: 18/11/25

Construction site shall be maintained to prevent
worms or breeding in all waterbodies so that all
waters collection & particularly wells, vats, basement
curbs, pits, open receptacles etc. must be emptied
completely at regular intervals.

Before starting any construction site must conform
with the sanctioned and all the conditions proposed
in the plan should be fulfilled.

The validity of the written permit to execute the work is
subject to the above conditions.

The Building Materials necessary for construction should
conform to the standard specified in the National
Building Code of India.

Design of all structural members including that of the
foundation should conform to the standards specified
in the National Building Code of India.

Non-Commencement of Erection / Re-Erection within
Two Years will Require Fresh Application for
Sanction.

RESIDENTIAL BUILDING

DEVIATION WOULD MEAN DEMOLITION

Necessary steps should be taken for the safety of the
lives of the adjoining public and private properties during
construction. Also to avoid pollution as per WPPCB
Guidelines in Vague.

CORRECTIONALIAN 97
B.C. No. 117/25
Date: 18/11/25
Sub. Asst. Engineer
Bldg. Department
Powrah Municipal Corporation

Tower-G
Section X-X
Section Y-Y