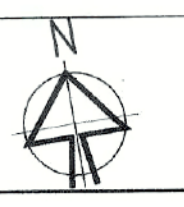


PROJECT
ADDITION ALTERATION OF PROPOSED G+12,G+18 AFFORDABLE HOUSING UNDER PRADHAN MANTRI AWAS YOJANA & G+28 STORIED BUILDING AT PRE. NO.39/1 SHALIMAR ROAD, MOUZA SHIBPUR SHEET NO. 169,170,179,180, J.L. NO. 1. L.R. KHATIAN NO. 170,9,15,17, L.R. DAG NO.12,13,39,40,41,42, 44,45, 60, 61, 62,63,6,7,8,9,10,11,12,13,14,15,16,17,21,22,24,2,11 P.S-SHIBPUR, WARD NO-39, BOROUGH -VI, DIST HOWRAH -711103, UNDER HOWRAH MUNICIPAL CORPORATION, WEST BENGAL, PREVIOUSLY SANCTIONED VIDE BRC NO. 358/19-20 DATED 4.02.2020

TITLE :
 TYPICAL (13TH,15TH,17TH) & (14TH,16TH,18TH) FL PLAN (TOWER-7)



SCHEDULE OF DOORS & WINDOWS

DOORS		WINDOWS			
NO.	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
FCD1	1000	2100	W1	600	900
D1	750	2100	W2	900	900
D2	900	2100	W3	900	1200
D3	1000	2100	W4	900	2000
D4	1050	2100	W5	1000	1200
D5	1000	2100	W6	1200	2000
GD1	1800	2100	W7	1200	1200
			W8	1500	2000
			W9	1000	2000

- SPECIFICATION**
- 1ST CLASS CEMENT BRICK WORK IN SUPERSTRUCTURE
 - 200 THK EXT. BRICK WALL & 100 THK INT. BRICK WALL IN 1:4 CEM-SAND MORTAR
 - LEAN CONC. (1:3:6) WITH 19 MM. DOWN GRADED STONE CHIPS FOR ALL P. C. C. WORKS.
 - M-25 CONCR. (1:2) FOR ALL R.C.C. WORKS
 - 20 MM & 15 MM THK. PLASTER (1:5) ON EXT. & INT. BRICK WALL RESPECTIVELY & 10 MM THK. PLASTER (1:3) ON CEILING
 - 20 X 6 PLAT ORNAMENTAL GRILL WITH WINDOW FRAME & AV. 40 MM THK MARBLE FLOORING INCLUDING SKIRTING OVER R.C.C. FLOOR SLAB
 - SINGLE LAYER F.B.S. IN FOUNDATION & PLINTH
 - HIRE & LABOUR FOR SHUTTERING & LABOUR WORKS INCLUDING STOUT PROPS TO BE PLACED AS PER DIRECTION
 - TOR STEEL BAR FOR ALL R.C.C. WORKS INCLUDING DISTRIBUTERS & BINDERS
 - SANITARY PLUMBING FITTING & FIXING COMPLETE AS PER RULE
 - MATERIALS TO BE USED - CEMENT- PORTLAND, SAND- MEDIUM COARSE, STONE CHIPS- 19 MM. DOWN GRADED
 - CLEAR COVER TO MAIN REIN. FOUNDATION- 50 MM., COLUMN- 40 MM., BEAM- 25 MM., SLAB- 20 MM.
 - SAL WOOD TO BE USED FOR DOOR & WINDOW FRAME & TEAK WOOD FOR SHUTTERS
 - ALL DIMENSIONS ARE IN MM. UNLESS OTHERWISE MENTIONED & WRITTEN DIMENSIONS WILL SUPERSEDE MEASURED DIMENSIONS.

DECLARATION
 THE PLOT IS BOUND BY BOUNDARY WALL. THE CHARACTER OF THE ROAD IS H.M.C. ROAD. I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF N.M.C. BUILDING RULES 2009 AS EXTENDED MUTATIS MUTANDIS TO H.M.C. AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE SITE PLAN AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

IDEAL RIVENTY PROJECTS PVT. LTD.
 SIGNATURE OF ARCHITECT: BIBEK BIKASH MULLICK
 SIGNATURE OF APPLICANT: [Signature]

DECLARATION
 I, CERTIFIED THAT THE FOUNDATION AND THE SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME THAT IT IS SAFE IN ALL RESPECT INCLUDING IN THE CONSIDERATION OF THE BEARING CAPACITY & SETTLEMENT OF SOIL.
 THE FOUNDATION DESIGN & DRAWINGS OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN DESIGNED BY ME CONSIDERING ALL POSSIBLE LOADS (HORIZONTAL & VERTICAL) AS PER THE NATIONAL BUILDING CODE OF INDIA.

BIBEK BIKASH MULLICK
 B.E. - CIVIL
 HOWRAH MUNICIPAL CORPORATION
 SIGNATURE OF GEOTECHNICAL ENGINEER: [Signature]

UNDERTAKING

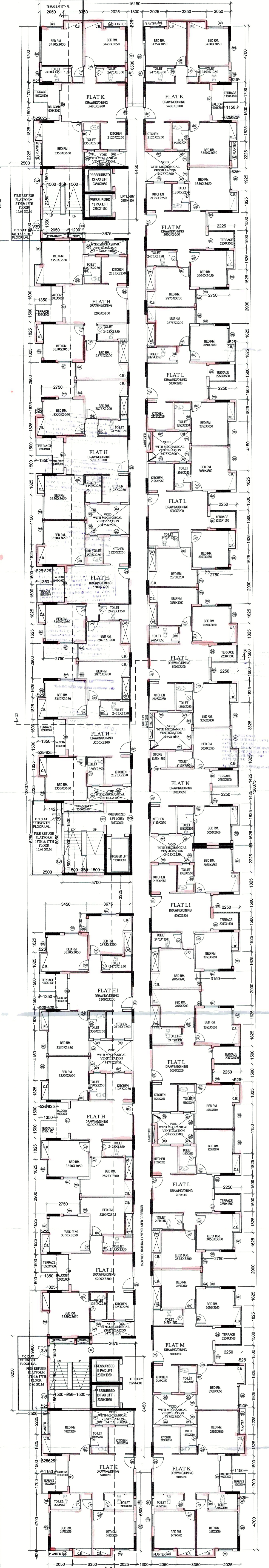
- 1) I/WE UNDERTAKE THAT WHEN THE SEWER LINE WILL BE AVAILABLE, I/WE SHALL TAKE CONNECTION AT MY OWN COST & AS PER RULE.
- 2) NO BUILDING MATERIALS WILL BE STACKED / DEPOSITED ON ROAD OVERNIGHT.
- 3) I/WE SHALL ARRANGE FOR RAISING & MAINTENANCE OF TREE AS SHOWN IN THE DRAWING AT MY OWN COST.

SCALE: 1:100
 DATE: 13.9.2023
 SEAL: P.D.K.P. DESIGNED: M.C.

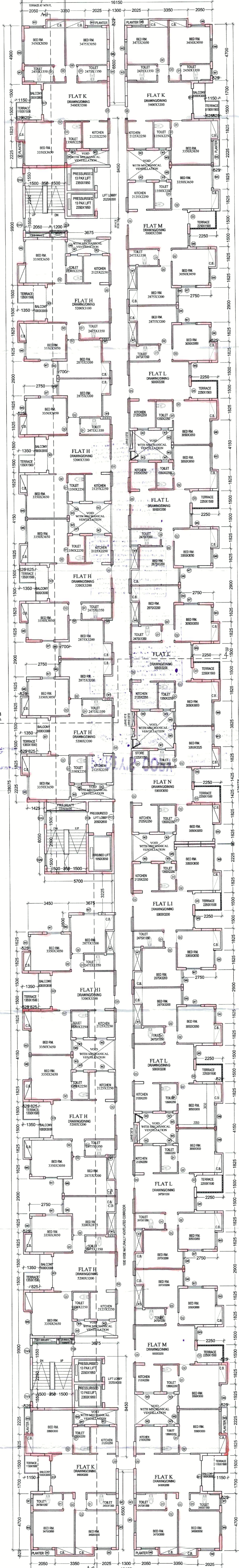
33A, DR. SRABATI BANERJEE ROAD, KOLKATA 700-029
 PH: 2465-4130, 4159
 THIS DRAWING IS PROPERTY OF SPACE. I.E.A. SRABATI BANERJEE ROAD, KOLKATA 700-029. ANY MODIFICATION / CHANGES / OMISSIONS IS NOT PERMISSIBLE WITHOUT PRIOR INFORMATION TO SPACE. IN THE CONTRARY, THIS WILL BE TREATED AS ILLEGAL ACT.

SPACE FOR H.M.C.

THE HOWRAH MUNICIPAL CORPORATION
 BUILDING DEPARTMENT
 [Stamp]



13TH,15TH,17TH FLOOR PLAN

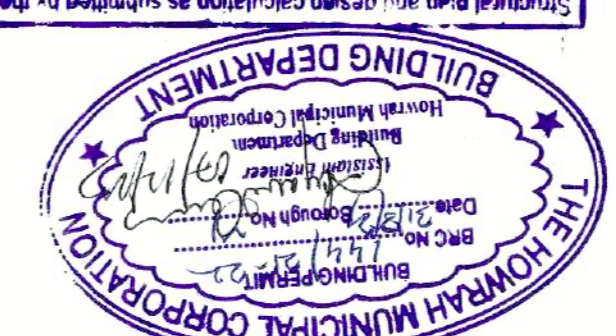


14TH,16TH,18TH FLOOR PLAN

Level-6
Section X-X
Section Y-Y

CORRECTIONAL PLAN
DATE: 11/11/12
Sd/-
Sd/-
Sd/-

PARTY'S COPY



Checked plan and design calculation as submitted by the applicant and found correct. The plan is approved for construction. The validity of the work permit is valid for 12 months from the date of issue.

Before starting any construction work, the contractor should ensure that the foundation is laid in accordance with the approved plan and specifications. The building materials used should conform to the standards specified in the National Building Code of India.

The Building Materials necessary for construction should conform to the standards specified in the National Building Code of India. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

Design of all structural members including that of the foundation should conform to standards specified in the National Building Code of India. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

Reconstruction of structure will require fresh application for sanction. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

Refractory work should be taken up only after the expiry of the period specified in the plan. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

Design plan should be submitted to the Assistant Engineer at the office and the sanction should be obtained before proceeding with the drainage work. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

APPLICANT HAS TO SUBMIT A CORRECTED PLAN
NAME OF THE TAMIL NADU MUNICIPAL CORPORATION
NAME OF THE TOWN
NAME OF THE WARD
DATE: 11/11/12

PLACED IN MUNICIPAL BUILDING DEPARTMENT
DATE: 11/11/12

THE SANCTION IS VALID UP TO 12 MONTHS

APPROVED FOR THE SANCTIONING OFFICER

Engineer and the Municipal Engineer should ensure that the foundation is laid in accordance with the approved plan and specifications. The contractor should ensure that the foundation is laid in accordance with the approved plan and specifications.

CONSTRUCTION SITE SHALL BE MAINTAINED IN SUCH A MANNER AS TO PREVENT PROGRESS OF WORKING IN THE NEIGHBOURHOOD. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT COLLISION OF TRAFFIC AND TO MAINTAIN CLEAR PASSES FOR THE FREE PASSAGE OF TRAFFIC.

Sanction is conditionally on the part of the building owner. If any part of the building is found to be in violation of the alignment of H.M.C., the same will be demolished by the owner at his/her risk and the owner will be liable for any compensation from H.M.C.

SEMI U. G. should be submitted at the office and sanction to the Director of the Assistant Engineer at the office and the sanction should be obtained before proceeding with the work of reconstruction / demolition.

No rain water pipe should be fixed at the office and the sanction should be obtained before proceeding with the drainage work.