

**PROJECT (PHASE-I)**  
**ADDITION ALTERATION OF PROPOSED G+12,G+18 AFFORDABLE HOUSING UNDER PRADHAN MANTRI AWAY YOJANA & G+28 STORED BUILDING AT PRE. NO.39/1 SHALIMAR ROAD, MOUZA SHIBPUR SHEET NO.169,170,179,180, J.L. NO. 1, L.R. KHATIAN NO. 170,9,15,17, L.R. DAG NO. 12,13,39,40,41,42,44,45, 60,61,62,63,6,7,8,9,10,11,12,13,14,15,16,17,21,22, 24,1,2,11 P.S-SHIBPUR, WARD NO-39, BOROUGH -VI, DIST HOWRAH-711103, UNDER HOWRAH MUNICIPAL CORPORATION WEST BENGAL, PREVIOUSLY SANCTIONED VIDE BRC NO. 358/19-20 DATED 4.02.2020**

**TITLE :**  
**CLUB 2 - ROOF PLAN, & SECTION AND ELEVATION**

**SCHEDULE OF DOORS & WINDOWS**

DOORS			WINDOWS		
NO.	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D1	1000	2400	M1	1800	1500
D2	900	2400	M2	1500	1500
D3	750	2400	M3	1200	1500
D4	2000	2400	M4	1000	1500
D5	1500	2400	M5	900	1500
D6	1200	2400	M6	750	900
F.C.D.	1000	2400	M7	600	900
S01	2100	2400	M8	750	300
S02	2500	2400	M9	1000	300
S03	3000	2400	M10	1500	300
			M11	1000	300
			M12	4000	300

**SPECIFICATION**

- 1ST CLASS CEMENT BRICK WORK IN SUPERSTRUCTURE
- 200 THK. EXT. BRICK WALL & 100 THK. INT. BRICK WALL IN 1:4 CEMENT MORTAR
- LEAN CONC. (1:3:6) WITH 15MM DOWN GRADDED STONE CHIPS FOR ALL P.C.C. WORKS
- M.S.DOOR (1:1:2) FOR ALL R.C.C. WORKS
- 20 MM & 15 MM THK. PLASTER (1:5) ON EXT. & INT. BRICK WALL RESPECTIVELY & 10 MM THK. PLASTER (1:5) ON CEILING
- 20 X 8 FLAT ORNAMENTAL GRILL WITH WINDOW FRAME & AV. 40 MM THK. MARBLE FLOORING INCLUDING SARTI NO. OVER R.C.C. FLOOR SLAB
- SINGLE LAYER F.B.S. IN FOUNDATION & PLINTH
- WIRE & LABOUR FOR SHRETTING & LADDER WORKS INCLUDING STAMP PROPS TO BE PLACED AS PER DIRECTION
- TOR STEEL BAR FOR ALL R.C.C. WORKS INCLUDING DETRITERS & BINDERS
- SANITARY & LUMBER FITTING TO BE COMPLETE AS PER RULE
- MA TERIALS TO BE USED: CEMENT- PORTLAND, SAND- MEDIUM GRADE, STONE CHIPS- 15 MM DOWN GRADDED
- 15 CLEAR COVER TO MAIN REIN. FOUNDATION- 40 MM, COLUMN- 40 MM, BEAM- 25 MM, SLAB- 20 MM
- SA. WOOD TO BE USED FOR DOOR & WINDOW FRAME & 15 MM WOOD FOR SHRETTING
- ALL DIMENSIONS ARE IN MM UNLESS OTHERWISE MENTIONED & WRITTEN DIMENSIONS WILL SUPERSEDE MEASURED DIMENSIONS

**DECLARATION**  
 THE PLOT IS BUTTED & BOUNDED BY BOUNDARY WALL. THE CHARACTER OF THE ROAD IS A H.M.C. ROAD. I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF M.C. BUILDING RULES 2000 AS EXTENDED BY M.C. MUTANDS TO H.M.C. AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ADJUTING ROAD CONFIRM WITH THE SITE PLAN AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

**SIGNATURE OF ARCHITECT**  
 IDEAL RIVERVIEW PROJECTS PVT. LTD.  
 CONFIDENTIAL ATTORNEY

**SIGNATURE OF ARCHITECT**  
 RANAY KUMAR GHOSH  
 REG. NO. 24857  
 2/A D, SARAT BANERJEE ROAD,  
 KOLKATA-700016

**DECLARATION**  
 I CERTIFY THAT THE FOUNDATION AND THE SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME THAT IT IS SAFE IN ALL RESPECTS INCLUDING IN THE CONSIDERATION OF THE BEARING CAPACITY & SETTLEMENT OF SOIL.

**SIGNATURE OF STRUCTURAL ENGINEER**  
 BIKAS KUMAR GHOSH

**DECLARATION**  
 I, THE UNDERTAKER, DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF M.C. BUILDING RULES 2000 AS EXTENDED BY M.C. MUTANDS TO H.M.C. AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ADJUTING ROAD CONFIRM WITH THE SITE PLAN AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

**SIGNATURE OF ARCHITECT**  
 IDEAL RIVERVIEW PROJECTS PVT. LTD.  
 CONFIDENTIAL ATTORNEY

**SIGNATURE OF ARCHITECT**  
 RANAY KUMAR GHOSH  
 REG. NO. 24857  
 2/A D, SARAT BANERJEE ROAD,  
 KOLKATA-700016

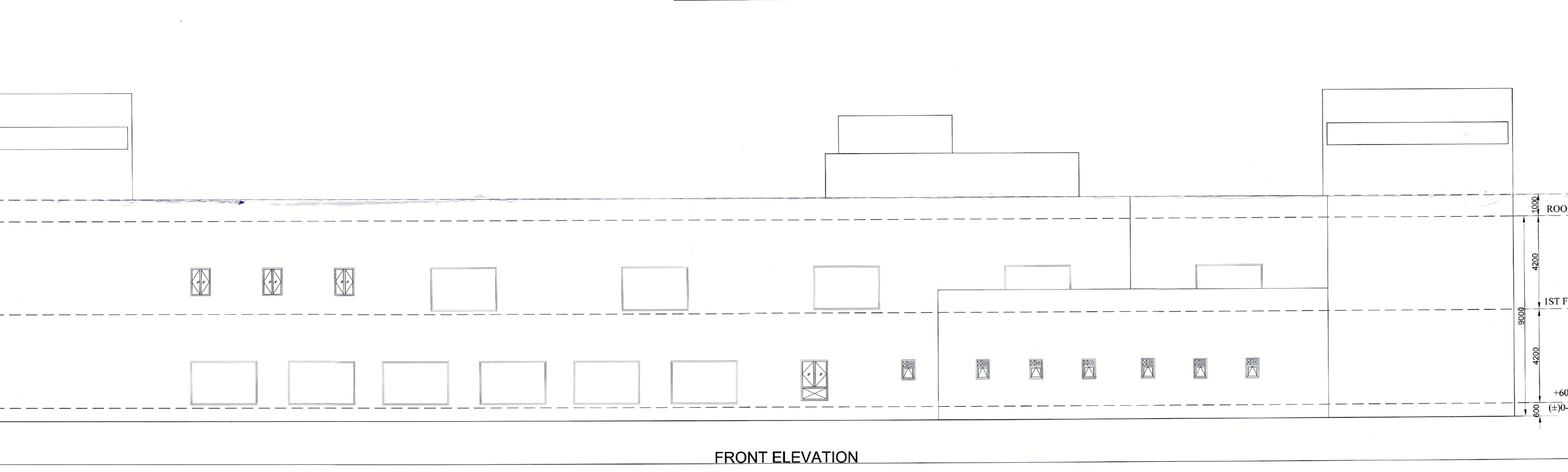
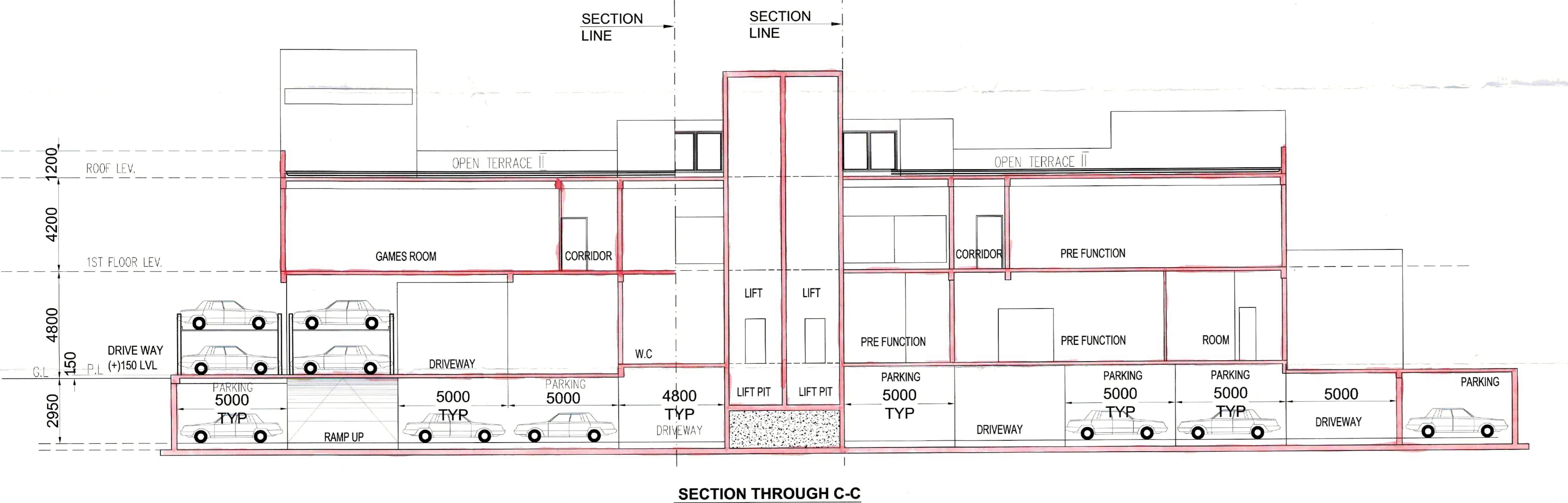
**SIGNATURE OF STRUCTURAL ENGINEER**  
 BIKAS KUMAR GHOSH  
 REG. NO. 24857  
 2/A D, SARAT BANERJEE ROAD,  
 KOLKATA-700016

**UNDERTAKING**

- 1) I THE UNDERTAKER THAT WHEN THE SEWER LINE WILL BE AVAILABLE, I WILL SHALL TAKE CONNECTION AT MY OWN COST & AS PER RULE.
- 2) NO BUILDING MATERIALS WILL BE STACKED / DEPOSITED ON ROAD OVERSIGHT.
- 3) I WILL SHALL ARRANGE FOR BRACING & MAINTENANCE OF TREE AS SHOWN IN THE DRAWING AT MY OWN COST.

SCALE	1:100	REV. NO.	
DATE	10.8.2023	ERIC. NO.	ESP/2023/S/ANWAR/PSANC/BRCN-14-63
DEALT	P.D.	DESIGNED	M.G.

**FOR H.M.C. PURPOSE**



Level-6  
Section X-X  
Section Y-Y

CORRECTION PLAN  
DATE: 11/11/12  
Sd/-  
Sd/-  
Sd/-

**PARTY'S COPY**



Checked plan and design calculation as submitted by the applicant and found correct. The plan is approved for construction. The validity of the work permit is valid for 12 months from the date of issue.

Before starting any construction work, the contractor should ensure that the foundation is laid in accordance with the approved plan and specifications. The contractor should also ensure that the building materials used are of good quality and conform to the specifications mentioned in the plan.

The Building Materials necessary for construction should conform to the specifications mentioned in the National Building Code of India.

Design of all structural members including that of the foundation should conform to Standards specified in the National Building Code of India.

Construction of foundation should be completed within two years from the date of issue of this permit. A fresh application for extension of time should be submitted to the Municipal Corporation before the expiry of the period.

Any water pipe should be laid at least 100 mm above the ground level. The pipe should be protected by a concrete cover of 100 mm thickness.

APPLICANT HAS TO SUBMIT A CORRECTED PLAN  
NAME OF THE TOWN ENGINEER  
NAME OF THE ELECTRICAL INSPECTOR  
NAME OF THE TOWN PLANNING OFFICER  
NAME OF THE TOWN DEVELOPMENT OFFICER  
NAME OF THE TOWN MANAGER

PLACED IN MUNICIPAL BUILDING DEPARTMENT  
DATE: 11/11/12

THE SANCTION IS VALID UP TO 11/11/12

COMMISSIONER OF MUNICIPAL CORPORATION

of plan and specifications are approved. The contractor should ensure that the building is constructed in accordance with the approved plan and specifications. The contractor should also ensure that the building materials used are of good quality and conform to the specifications mentioned in the plan.

CONSTRUCTION SITE SHALL BE KEPT OPEN TO THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED THEREBY.

Sanctions conditionally on the part of the building. If any part of the building is found to be in violation of the alignment of H.M.C., the same shall be demolished by the owner at his own cost and the owner shall be liable for the cost of the demolition.

SEMI U. G. should be submitted at the Office of the Assistant Engineer of the Town and Country Planning Department. The plan should be submitted at least 15 days before the commencement of the work.

No rain water pipe should be laid at the top of the wall. The pipe should be laid at least 100 mm above the ground level. The pipe should be protected by a concrete cover of 100 mm thickness.

Design plan should be submitted at the Office of the Assistant Engineer of the Town and Country Planning Department. The plan should be submitted at least 15 days before the commencement of the work.