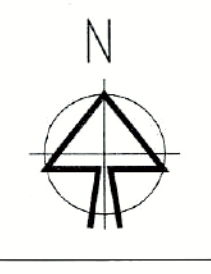


**PROJECT**  
**ADDITION ALTERATION OF PROPOSED G+12, G+18 AFFORDABLE HOUSING UNDER PRADHAN MANTRI AWAS YOJANA & G+28 STORIED BUILDING AT PRE. NO.39/1 SHALIMAR ROAD, MOUZA SHIBPUR SHEET NO.169,170,179,180, J.L NO. 1 , L.R. KHATIAN NO. 170,9,15,17, L.R. DAG NO.12,13,39,40,41,42,44,45,60,61, 62,63,6,7,8,9,10,11,12,13,14,15,16,17,21,22,24,1,2,11 P.S-SHIBPUR, WARD NO-39, BOROUGH -VI, DIST HOWRAH-711103, UNDER HOWRAH MUNICIPAL CORPORATION, WEST BENGAL, PREVIOUSLY SANCTIONED VIDE BRC NO. 358/19-20 DATED 4.02.2020**

**TITLE :**  
**OVERALL FIRST FLOOR PLAN**



- SPECIFICATION**
- 1ST CLASS CEMENT BRICK WORK IN SUPERSTRUCTURE
  - 200 THK. EXT. BRICK WALL & 100 THK. INT. BRICK WALL IN 1:4 CEM.SAND MORTAR
  - LEAN CONC. (1:3:6) WITH 19 MM. DOWN GRADED STONE CHIPS FOR ALL P. C. C. WORKS.
  - M-25 CONC. (1:1:2) FOR ALL R.C.C. WORKS
  - 20 MM & 16 MM. THK. PLASTER (1:5) ON EXT. & INT. BRICK WALL RESPECTIVELY & 19 MM. THK. PLASTER (1:3) ON CEILING
  - 20 X 6 FLAT ORNAMENTAL GRILL WITHIN WINDOW FRAME & AV. 40 MM. THK. MARBLE FLOORING INCLUDING SKIRTING OVER R.C.C. FLOOR SLAB
  - SINGLE LAYER F.B.S. IN FOUNDATION & PLINTH
  - HIRE & LABOUR FOR SHUTTERING & LABOUR WORKS INCLUDING STOUT PROPS TO BE PLACED AS PER DIRECTION.
  - TOR STEEL BAR FOR ALL R.C.C. WORKS INCLUDING DISTRIBUTERS & BINDERS
  - SANITARY & PLUMBING FITTING & FIXING COMPLETE AS PER RULE
  - MATERIALS TO BE USED : CEMENT- PORTLAND, SAND- MEDIUM COARSE, STONE CHIPS- 19 MM. DOWN GRADED
  - CLEAR COVER TO MAIN REIN. FOUNDATION- 50 MM., COLUMN- 40 MM., BEAM- 25 MM., SLAB- 20 MM.
  - SAL WOOD TO BE USED FOR DOOR & WINDOW FRAME & TEAK WOOD FOR SHUTTERS
  - ALL DIMENSIONS ARE IN MM. UNLESS OTHERWISE MENTIONED & WRITTEN DIMENSIONS WILL SUPERCEED MEASURED DIMENSIONS.

**DECLARATION**  
 THE PLOT IS BUTTED & BOUNDED BY BOUNDARY WALL. THE CHARACTER OF THE ROAD IS A H.M.C. ROAD. I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN BY ME AS PER PROVISION OF K.M.C. BUILDING RULES 2009 AS EXTENDED MUTAIS - MUTANDIS TO H.M.C. AND THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFIRM WITH THE SITE PLAN AND THAT IS BUILDABLE SITE AND NOT A TANK OR FILLED UP LAND.

**SIGNATURE OF APPLICANT**  
 [Signature]  
 IDEAL SURVEY CONSULTANTS PVT. LTD.  
 35A, DR. SARAT BANERJEE ROAD, KOLKATA-700 029

**DECLARATION**  
 I CERTIFIED THAT THE FOUNDATION AND THE SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME THAT IT IS SAFE IN ALL RESPECT INCLUDING IN THE CONSIDERATION OF THE BEARING CAPACITY & SETTLEMENT OF SOIL.  
 2. THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN DESIGNED BY ME CONSIDERING ALL POSSIBLE LOADS (HORIZONTAL & VERTICAL) AS PER THE NATIONAL BUILDING CODE OF INDIA.

**SIGNATURE OF ARCHITECT**  
 [Signature]  
 BIBIK BRASH MULLICK  
 ESP-39, CLASS-I  
 HOWRAH MUNICIPAL CORPORATION  
 SIGNATURE OF STRUCTURAL ENGINEER  
 BIBIK BRASH MULLICK

**SIGNATURE OF GEOTECHNICAL ENGINEER**  
 [Signature]  
 GEOTECHNICAL ENGINEER  
 GEOTECH ENGINEERS PVT.LTD.  
 ALOK BAY  
 CTE-1/11  
 6A, MECON PARK, GARDHOLI, KOLKATA-700014

**UNDERTAKING**

- 1/ I/ WE UNDERTAKE THAT WHEN THE SEWER LINE WILL BE AVAILABLE, I/ WE SHALL TAKE CONNECTION AT MY OWN COST & AS PER RULE.
- 2/ NO BUILDING MATERIALS WILL BE STACKED / DEPOSITED ON ROAD OVERNIGHT.
- 3/ I/ WE SHALL ARRANGE FOR RAISING & MAINTENANCE OF TREE AS SHOWN IN THE DRAWING AT MY OWN COST.

SCALE	1:500	REF. NO.	ESP/2019/SHALIMAR/SANC/ARCH-I-C-02
DATE	10.8.23	DRG. NO.	
DEALT	P.D.K.P.	DESIGNED	M.C.

**ARCHITECTS**  
 ESPACE  
 35A, DR. SARAT BANERJEE ROAD,  
 KOLKATA 700 029  
 PH:03-2465-4130,4159

THIS DRAWING IS A PROPERTY OF ESPACE, 35A, DR. SARAT BANERJEE ROAD, KOLKATA-700 029. ANY MODIFICATION, CHANGES, DEVIATIONS IS NOT PERMISSIBLE WITHOUT PRIOR INTIMATION TO ESPACE IN THE CONTRARY, THIS WILL BE TREATED AS ILLEGAL ACT





APPLICANT HAS TO EXHIBIT AT A CONSPICUOUS PLACE:  
PERMITS NO. :-  
NAME OF THE I.P.A. LIA.  
NAME OF THE STRUCTURAL ENGRG.  
NAME OF THE CIVIL ENGINEER  
NAME OF OWNER :-  
NAME OF THE APPLICANT  
BUILDING PERMIT

THE SANCTION IS VALID  
UP TO 20/11/2025

APPROVED AS PER SECTION 17  
COMMISSIONER OF 17/11/2025

APPLICANT SHALL KEEP AT THE SITE ONE SET  
OF PLANS AND SPECIFICATIONS AND SHALL  
EXHIBIT A CONSPICUOUS PLACE THE NUMBER  
OF THE PERMIT. THE NAME OF THE ARCHITECT  
OR LICENSED BUILDING SURVEYOR, STRUCTURAL  
ENGINEER AND CIVIL ENGINEER  
NAME OF OWNER AND NUMBER AND DATE OF  
THE BUILDING PERMIT.

CONSTRUCTION SITE SHALL  
MAINTAIN TO PREVENT  
WORMS OR BREEDING IN ALL  
WATERBODIES SO THAT ALL WATERS  
COLLECTION & PARTICULARLY  
WELLS, VATS, BASEMENT CISTERNS,  
PITS, OPEN RECEPTACLES ETC.  
MUST BE EMPTIED COMPLETELY  
AT REGULAR INTERVALS.

Sanctioned Conditionally on  
undertaking from the owner  
that if any part of the building  
to be constructed falls within  
the alignment of HMC, the  
same will be demolished by  
the owner at his/her risk and  
for this the owner will not claim  
any compensation from HMC.

Plans for water connection arrangement  
SEMI U. G. should be submitted at the  
Office of the Assistant Engineer of  
Borough and sanction to be obtained  
before proceeding with the work of  
Water Supply. Any deviation may lead to  
disconnection / demolition.

No rain water pipe should be fixed or  
discharged on Road or Footpath.  
Drainage plan should be submitted  
at the Borough Assistant Engineer's  
Office and the sanction obtained before  
proceeding with the drainage work.

PLACED IN MUNICIPAL  
BUILDING COMMITTEE  
DATE: 18/11/2025

**PARTY'S COPY**



CORRECTIONALIAN 27  
BRO. NO. 171/23  
CORR. NO. 171/23  
Sub. Ass. Engineer  
Bldg. Department  
Howrah Municipal Corporation

Structural plan and design calculation as submitted by the  
structural engineer, have been kept with B.R.  
No. 171/23. The date of submission of the  
records of Howrah Municipal Corporation without  
verification. Non-compliance from the submitted structural plan  
should be taken care of during erection without submitting  
fresh structural plan along with design calculation and  
stability calculation. Necessary steps  
should be taken to ensure the safety of the adjoining premises  
public and private properties during construction.

Construction site shall be maintained to prevent  
worms or breeding in all waterbodies so that all waters  
collection & particularly wells, vats, basement cisterns,  
pits, open receptacles etc. must be emptied completely  
at regular intervals.

Before starting any construction site must conform with the  
sanctioned and all the conditions proposed in the plan should be fulfilled.

The validity of the written permits to execute the work is subject to the above conditions.

The Building Materials necessary for construction should conform to the standard specified in the National Building Code of India.

Design of all structural members including that of the foundation should conform to Standards specified in the National Building Code of India.

Non-Commencement of Erection / Re-Erection within Two Years will Require Fresh Application for Sanction.

RESIDENTIAL BUILDING

DEVIATION WOULD MEAN DEMOLITION

Necessary steps should be taken for the safety of the lives of the adjoining public and private properties during construction. Also to avoid pollution as per WPPCB Guidelines in Vague.

Tower-G  
Section X-X  
Section Y-Y